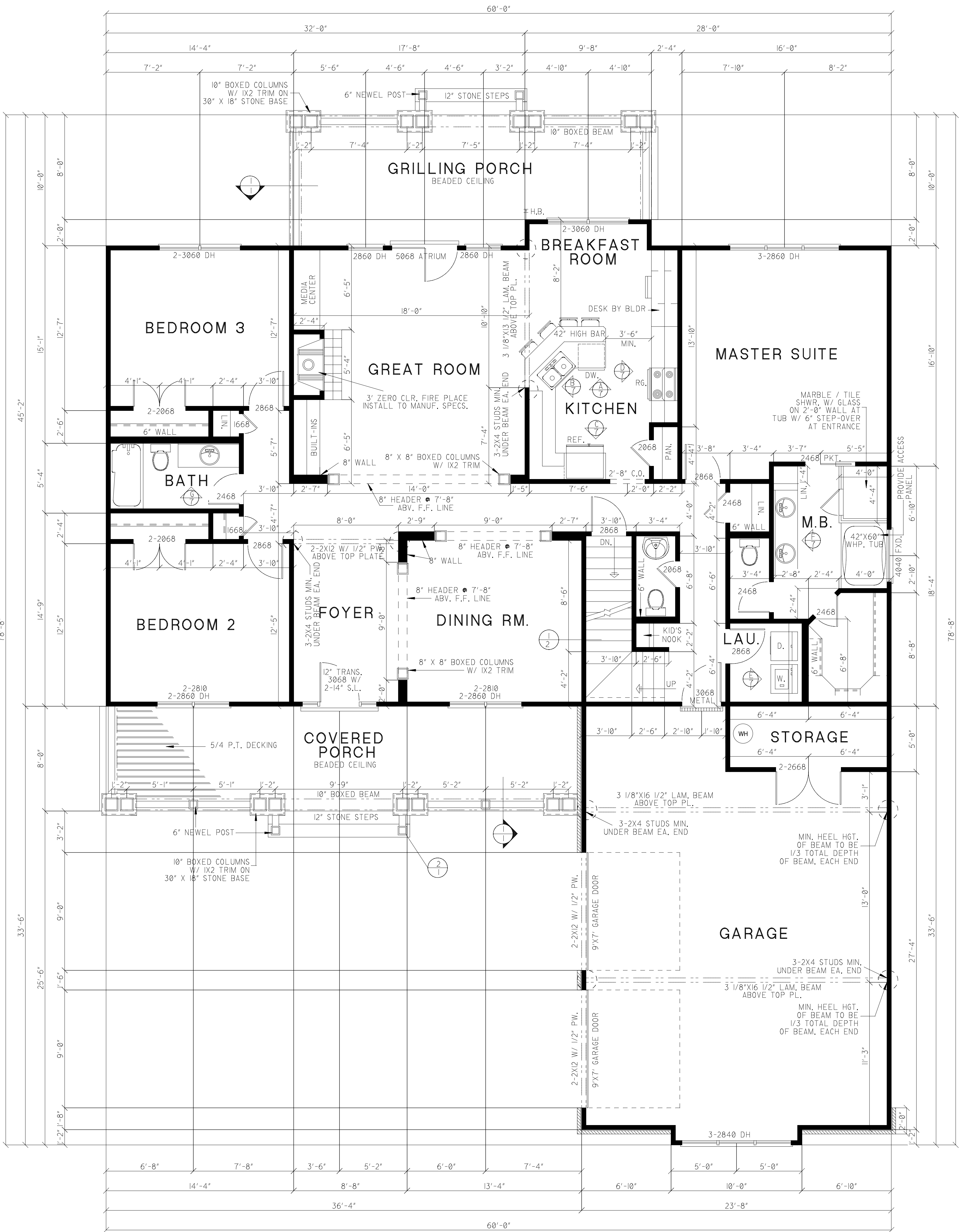




FLOOR PLAN NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
7. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
9. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5'-7" SO.FT., A MINIMUM NET CLEAR OPENABLE WIDTH OF 20". A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
10. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOLLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
13. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
15. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2X4 JOISTS.
17. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE, FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER, USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
18. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

SECTION NOTES:

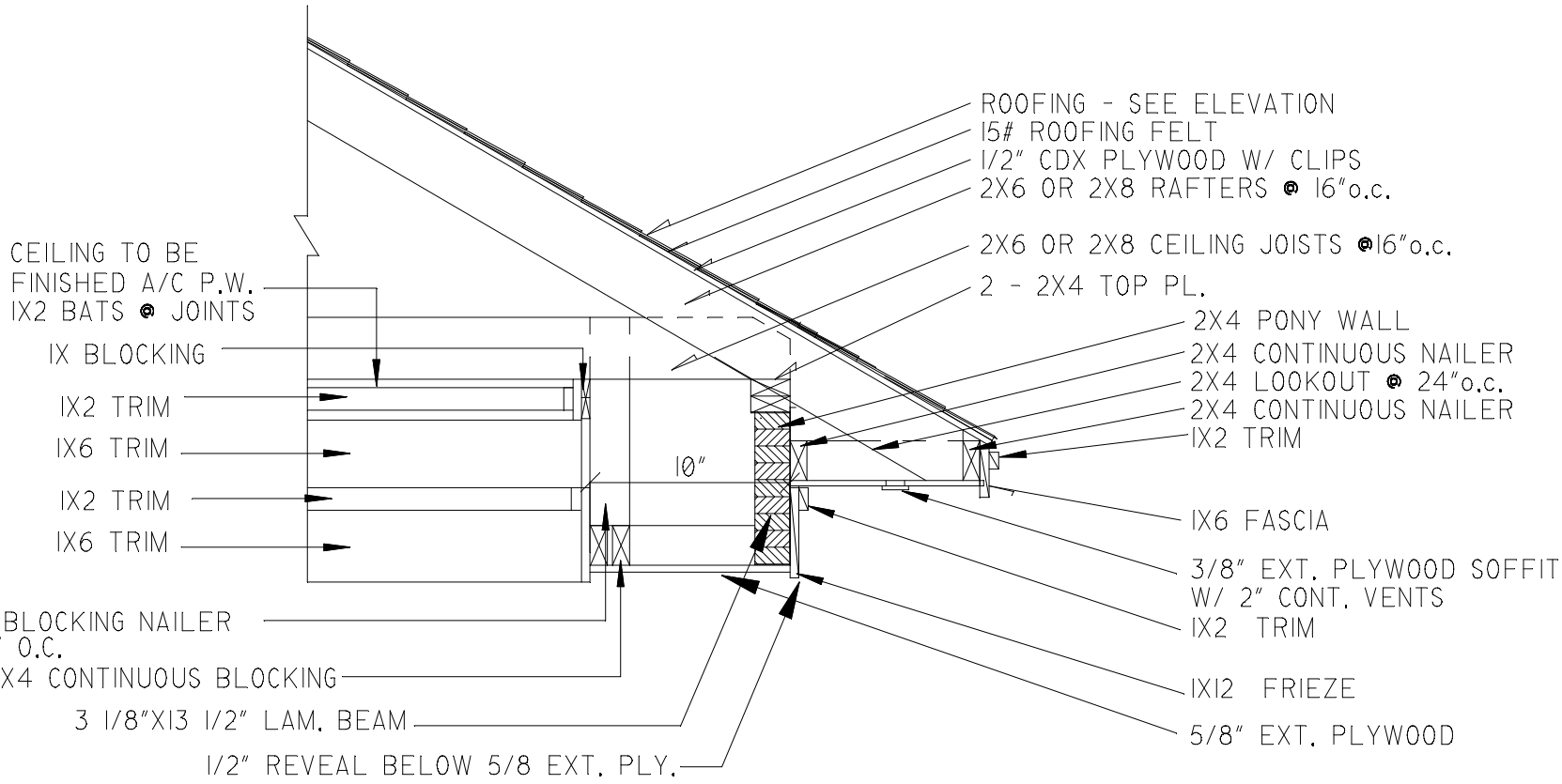
1. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS / TRUSSES.
2. RIDGES, VALLEY AND HIP MEMBERS SHALL BE FULL VERTICAL DEPTH OF FRAMING MEMBERS
3. PROVIDE 2X6 COLLAR TIES AT 48" O.C.
4. PROVIDE CONTINUOUS 2X6 PURLINS AT MID-SPAN OF RAFTERS, SPACE AT 8'-0" MAX.
5. PROVIDE 2X4 STRUTS AT 48" O.C. FROM PURLINS TO BEARING WALLS AT 45 MINIMUM ANGLE.
6. HANDRAILS SHALL BE MOUNTED 32"-34" ABOVE NOSING OF STAIRS. GUARDRAILS SHALL BE MOUNTED AT 36".

INSULATION NOTES:

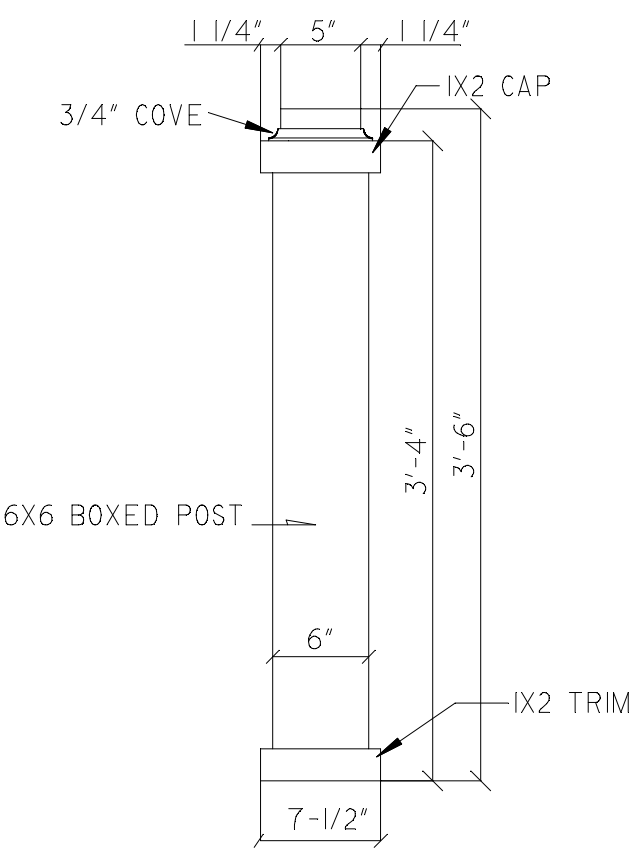
1. PROVIDE R-19 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS, MINIMUM R-30 INSULATION IN FLAT CEILINGS AND R-30 MINIMUM BLANKET INSULATION IN VAULTED CEILINGS, ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO WARM SIDE.
2. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK, CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
3. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER AGAINST INSIDE OF ALL INSULATION, LAP JOINTS 18" MINIMUM.
4. FLOORS OVER UNHEATED SPACE SHALL HAVE R-25 FOIL BACK INSULATION BETWEEN JOISTS.
5. SLAB EDGE INSULATION R-5.
6. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-8.

PLUMBING NOTES:

1. PLUMBING SHALL MEET ALL LOCAL CODES.
2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
3. ALL GAS WATER HEATERS SHALL BE VENTED AT TOP/OUT.
4. PROVIDE INSIDE MAIN WATER CUT-OFF.
5. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.



1 BOX LAM. BEAM SECTIONAL DETAIL
3/4" = 1'-0"



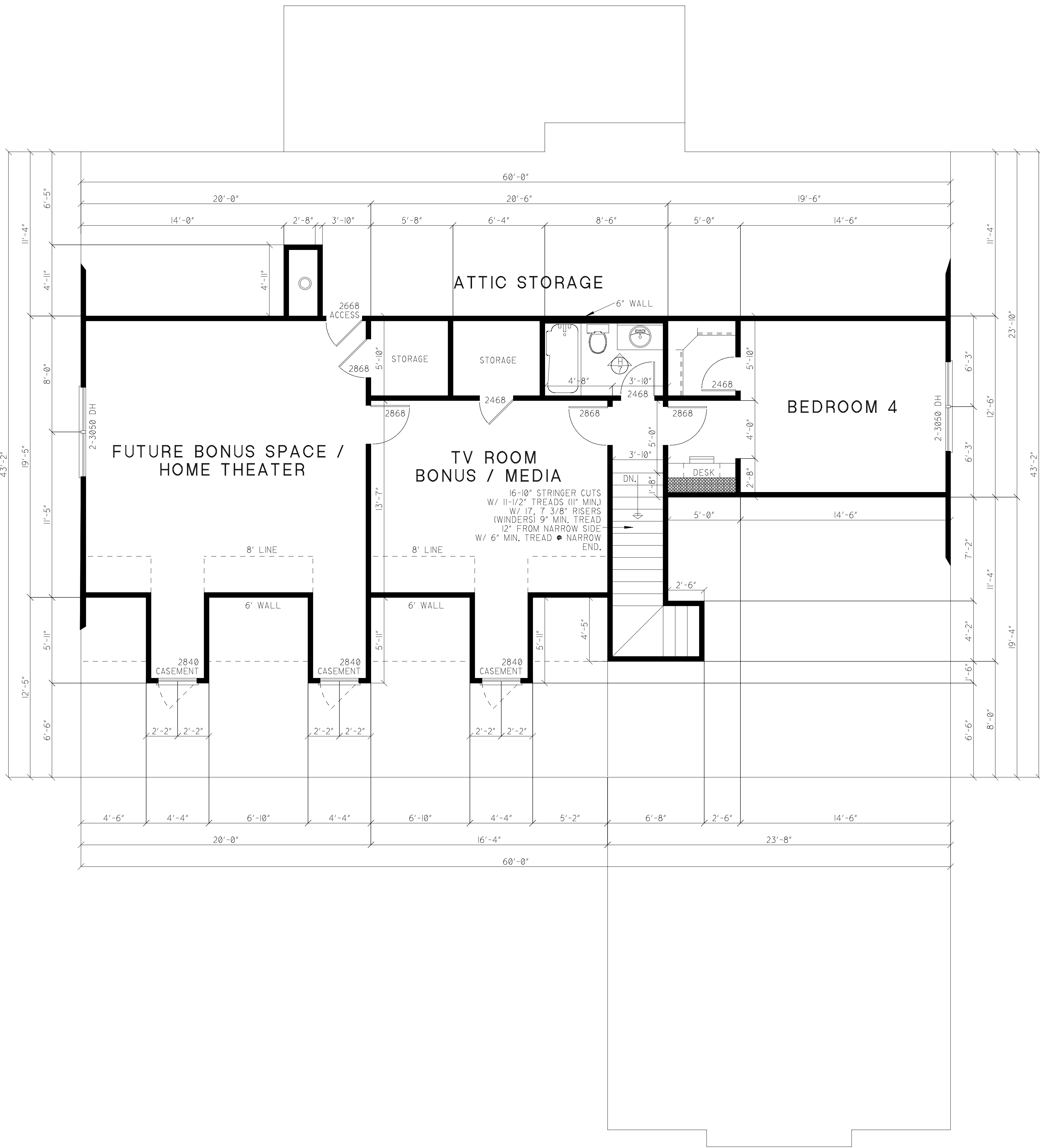
2 PORCH NEWEL DETAIL
1" = 1'-0"

FLOOR PLAN SPECIFICATIONS

HEAT/COOLED MAIN FLOOR:	2129 SQ. FT.
HEAT/COOLED UPPER:	316 SQ. FT.
HEAT/COOLED TOTAL:	2445 SQ. FT.
GARAGE, STORAGE:	776 SQ. FT.
PORCHES:	547 SQ. FT.
TOTAL:	3768 SQ. FT.
BONUS ROOMS:	758 SQ. FT.

NOTE:

- 1.- MAIN FLOOR CEILINGS TO BE 9' UNLESS NOTED.
- 2.- UPPER FLOOR CEILINGS TO BE 8' UNLESS NOTED.
- 3.- BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
- 4.- VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
- 5.- HVAC & W.H. TO BE IN ATTIC UNLESS OTHERWISE NOTED.
- 6.- PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES. REFERENCE IRC SECTION 62419
- 7.- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOLLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED TO COMPLY WITH IRC SECTION R308.4.8



CONSTRUCTION AND FRAMING NOTES:

I. DESIGN LOADS ARE AS FOLLOWS PER SQ FT:			
LOCATION	LIVE	DEAD	DEFLECT LIMIT
1ST FLOOR	40 LB	10 LB	L/360
2ND FLOOR (SLEEPING AREAS)	30 LB	10 LB	L/360
ATTIC (NON STORAGE)	10 LB	5 LB	L/240
ATTIC (STORAGE)	20 LB	10 LB	L/240
ROOF (WITH FINISHED CEILING)	30 LB SNOW	15 LB	L/240
ROOF (NO FINISHED CEILING)	30 LB	7 LB	L/80
DECKS	60 LB	10 LB	L/360

SNOW LOADS HAVE BEEN ADJUSTED TO REFLECT THE SLIDEOFF FACTOR, AS A FUNCTION OF ROOF PITCH, RAFTER SIZES MAY HAVE TO BE INCREASED TO ACCOMADATE HIGHER SNOW LOADS. VERIFY WITH LOCAL CODES.

2. LUMBER SHALL BE DOUGLAS-FIR-LARCH, HEM-FIR OR SOUTHERN-YELLOW-PINE WITH FB=1450 AND E=1.6 MINIMUM.

3. ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.

4. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD, GLUED BETWEEN AND NAILLED, FOR ALL OPENINGS IN 2X6 WALLS, DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS.

5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.

6. STAIR CONSTRUCTION SHALL CONSIST OF (3)2X12 STRINGERS, 5/4" OR 2X THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

7. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE "PRESSURE TREATED" & SILICONE SEALED.

8. "MICRO-LAM" BEAMS SHALL HAVE BENDING STRESS: FB=2,800 PSI. VERIFY WITH LOCAL CODES.

9. SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS OR EQUAL.

10. MINIMUM HEADER SIZE SHALL BE (2)2X6" UNLESS NOTED OTHERWISE EXTERIOR WALLS SHALL BE (2) 2X12 WITH 1/2" PLYWOOD.

11. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.

12. UNLESS OTHERWISE NOTED, PROVIDE A 2X PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 24" ON CENTER, RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS OTHERWISE NOTED.

13. FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK, FLOOR TRUSS LAYOUT TO BE ENGINEERED BY TRUSS MANUFACTURE.

14. PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOISTS/RAFTERS/TRUSSES, MAXIMUM SPACING BETWEEN BEARING WALL AND BLOCKING IS 8'-0".

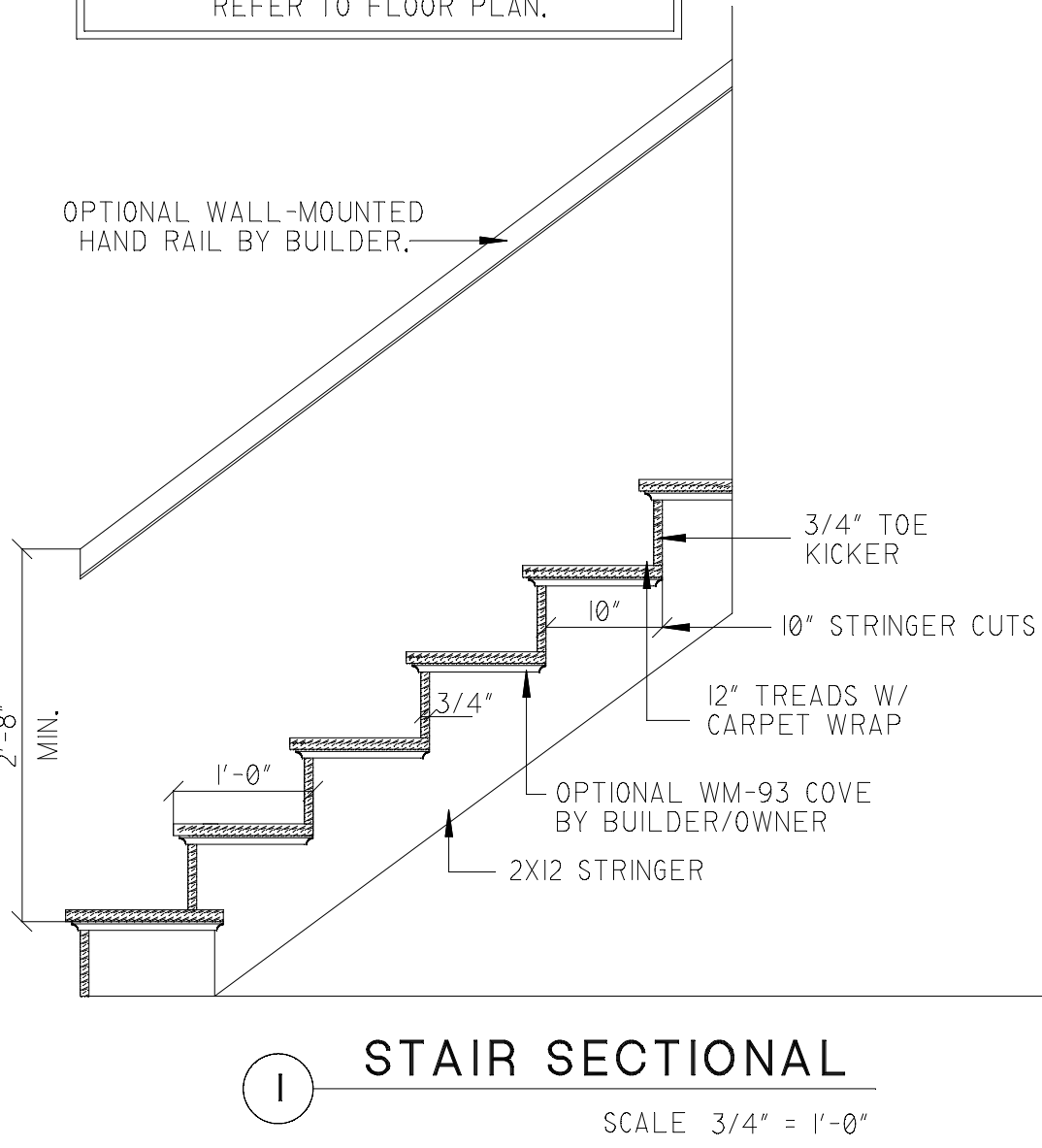
15. THESE FRAMING PLANS WERE DESIGNED USING STANDARD CONSTRUCTION PRACTICES, THEY CONFORM TO STANDARD BUILDING CODES. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS REVISIONS MAY BE REQUIRED TO THESE PLANS.

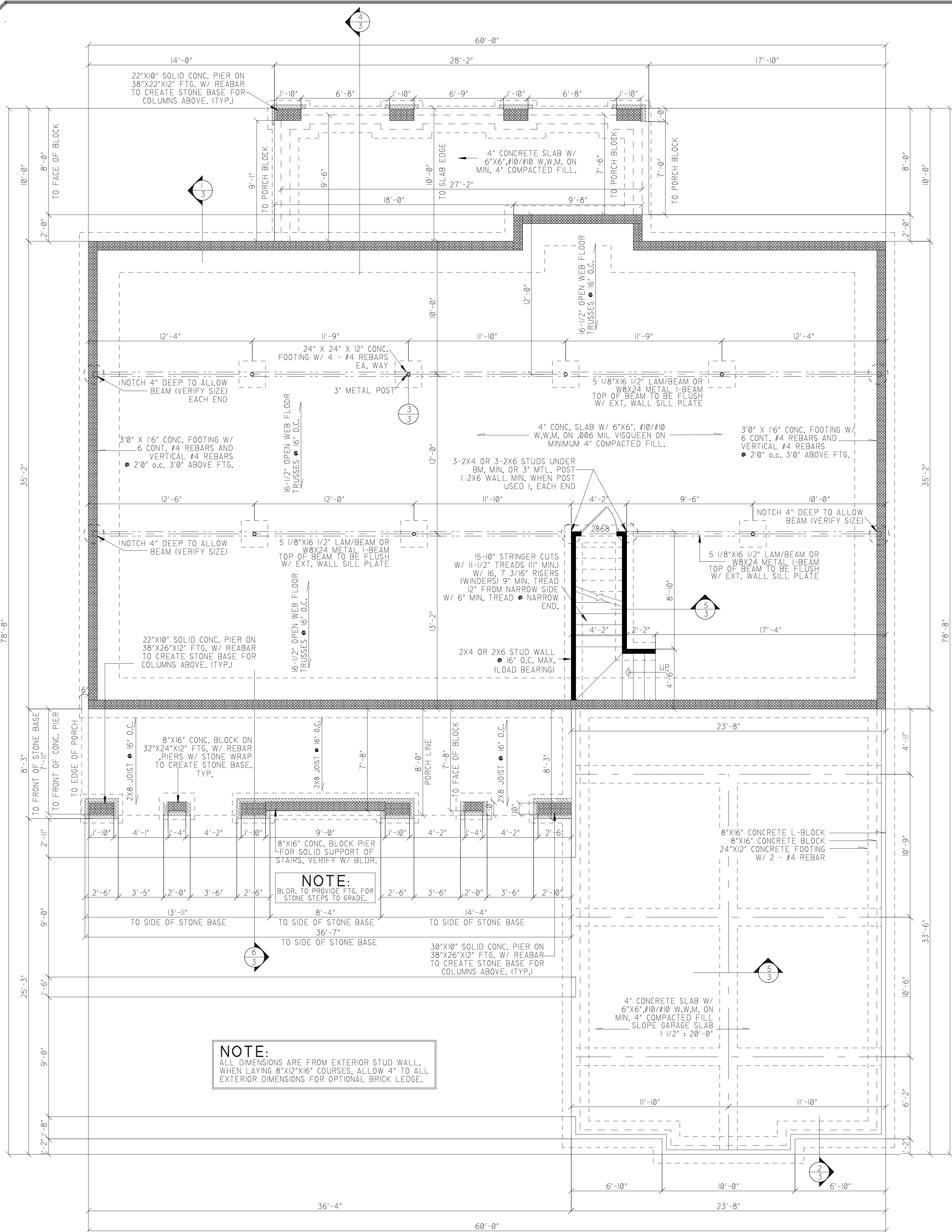
16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, AND FHA/VA MPS. THE BUILDER SHALL VERIFY ALL CONDITIONS BEFORE BEGINNING CONSTRUCTION. CONSULT WITH LOCAL STRUCTURAL ENGINEERS AND CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY.

NOTE:

- 1.- HVAC TO BE IN ATTIC. VERIFY W/ BUILDER.
 - 2.- UPPER FLOOR CEILING HEIGHTS TO BE 8'-0" UNLESS NOTED.
 - 3.- UPPER FLOOR JOIST TO BE 16'-1/2" OPEN WEB FLOOR TRUSSES @ 16" O.C. W/ 3/4" T&G STURDI FLOOR GLUED & SCREWED. SEE TRUSS MANUF. FOR FLOOR TRUSS LAYOUTS.
 - 4.- HVAC & W.H. TO BE IN ATTIC UNLESS OTHERWISE NOTED.
- ALL OPEN WEB FLOOR TRUSSES TO BE DESIGNED & ENGINEERED BY TRUSS MANUF. TRUSS MANUF. WILL PROVIDE TRUSS LAYOUT BASED ON ENGINEERING. TRUSS MANUF. TO SUPPLY TRUSSES W/ CHAMFERED END ON SELECTED UNITS TO ALLOW FOR EXT. WALL SUPPORT & RAFTER CLEARANCE.

NOTE:
STAIR RISE HEIGHT AND RUN DISTANCE ARE NOT SPECIFIED ON THIS DETAIL AND SECTION, FOR RISE AND RUN SPECS. REFER TO FLOOR PLAN.





FOUNDATION NOTES:

1. ALL FOOTINGS SHALL REST ON VIRGIN, UNDISTURBED SOIL.

2. ASSUMED SOIL SHALL BE SAND OR GRAVEL, WITH MINIMUM TRACES OF DRY CLAY WITH A MINIMUM BEARING CAPACITY OF 2000 LBS/SO FT.

3. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3000 P.S.I. 28 DAY COMPRESSIVE STRENGTH CONCRETE ON 4\"/>

6. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3000 P.S.I. 28 DAY COMPRESSIVE STRENGTH CONCRETE ON 4\"/>

7. CONTRACTOR TO VERIFY FOOTINGS DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS; WHICHEVER IS MORE RESTRICTIVE.

4. PROVIDE 1/2\"/>

5. PLACE 1/2\"/>

6. FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTION; WHICHEVER IS MORE RESTRICTIVE.

7. CONTRACTOR TO VERIFY FOOTINGS DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS; WHICHEVER IS MORE RESTRICTIVE.

8. PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.

9. PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL GARAGES, BOTH DIRECTIONS.

10. MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16\"/>

11. INSTALL CONTINUOUS APPROVED FLASHINGS AND COTTON CORD WEEPS AT 48\"/>

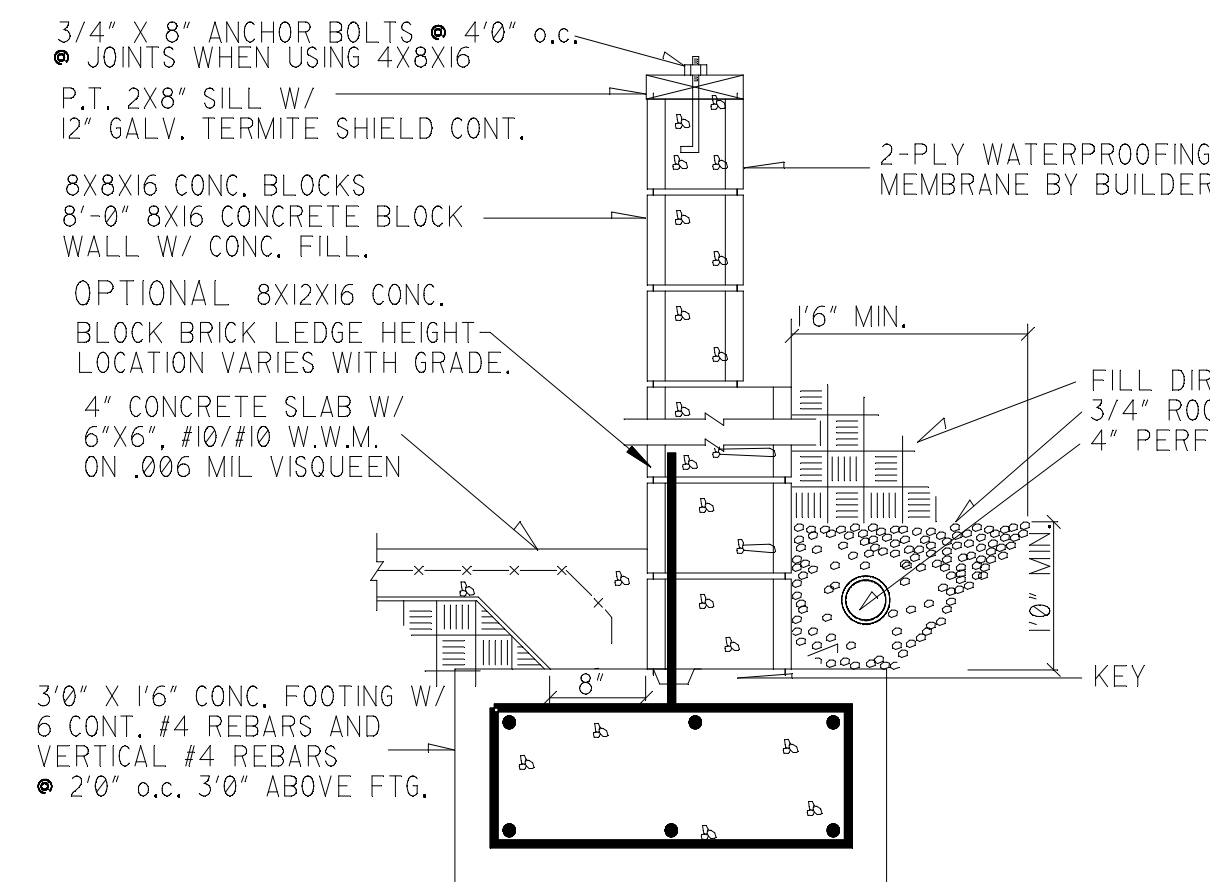
12. CRAWL SPACE FOUNDATIONS: PROVIDE CRAWL SPACE VENTILATION PER LOCAL CODE REQUIREMENTS.

NOTE:

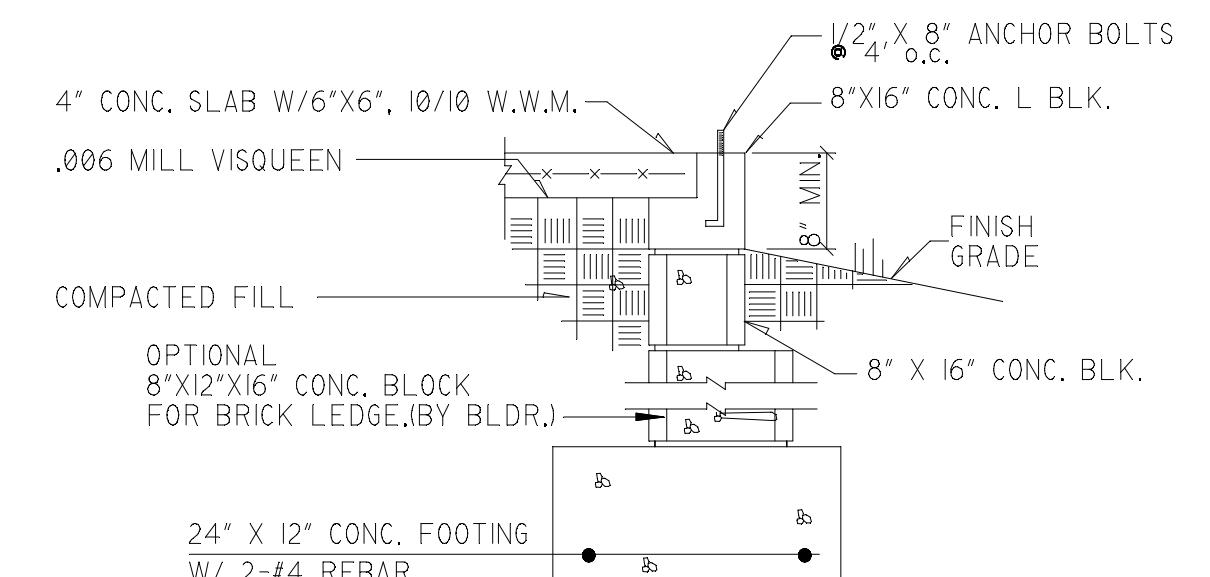
1. BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS EXIST CONSULT A STRUCTURAL ENGINEER.
2. BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
3. VERIFY ALL FLOOR OUTLETS, RANGE & UPPER VENTS IN SLAB.
4. BUILDER TO LOCATE FOUNDATION ACCESS LOCATION, VERIFY W/ SITE ELEVATIONS IF APPLICABLE.
5. VERIFY 4\"/>

6. BUILDER TO VERIFY BASEMENT LAYOUT W/ OWNER, VERIFY W/ SITE CONDITIONS.
7. ADDITIONAL BASEMENT DESIGN LAYOUTS OR HELP MAY BE OBTAINED BY CONTACTING NELSON DESIGN GROUP, 800-990-2423.
8. BUILDER TO VERIFY AND APPROVE ALL BASEMENT DETAILS BEFORE CONSTRUCTION.
9. CONCRETE WALLS MIN. MAY BE USED IN LIEU OF BRICK WALLS.
10. BASEMENT WALL HEIGHT TO BE 8'-0\"/>

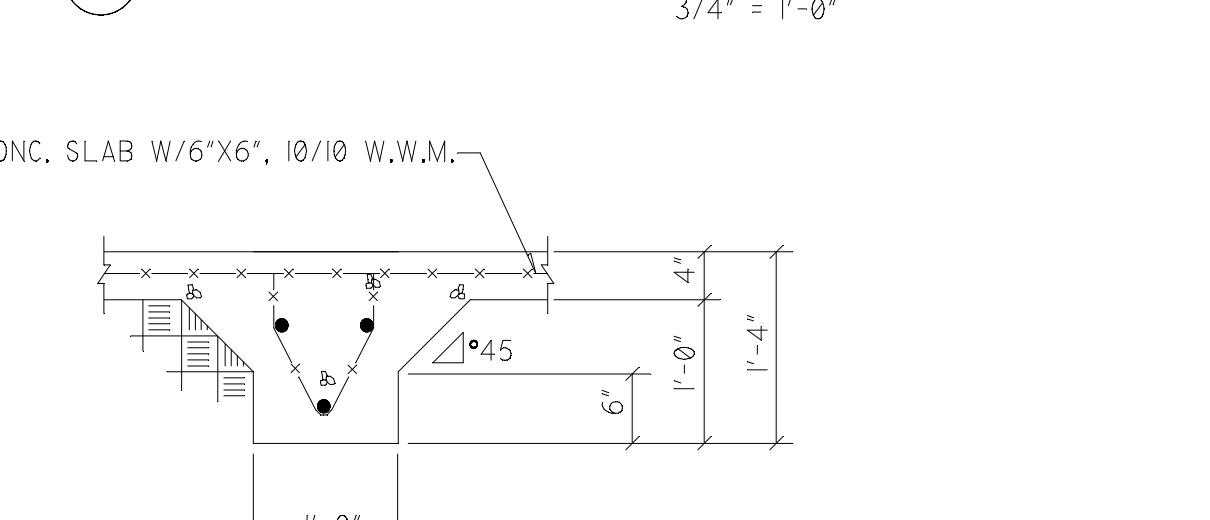
© 2004 NELSON DESIGN GROUP, LLC.
Reproduction of these plans, in any form, without the written consent of the Designer, is prohibited.



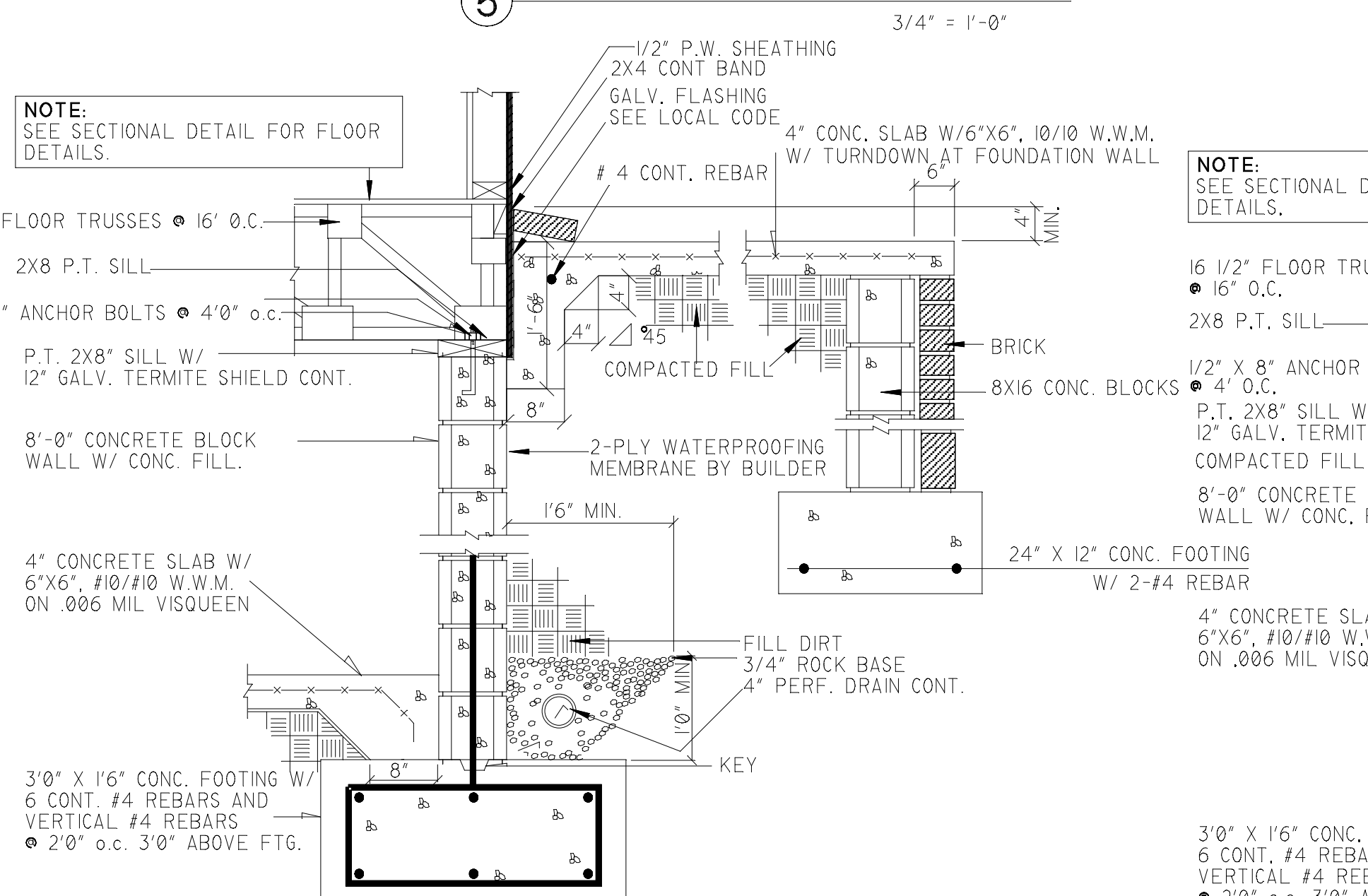
1 CONCRETE BLOCK WALL DETAIL



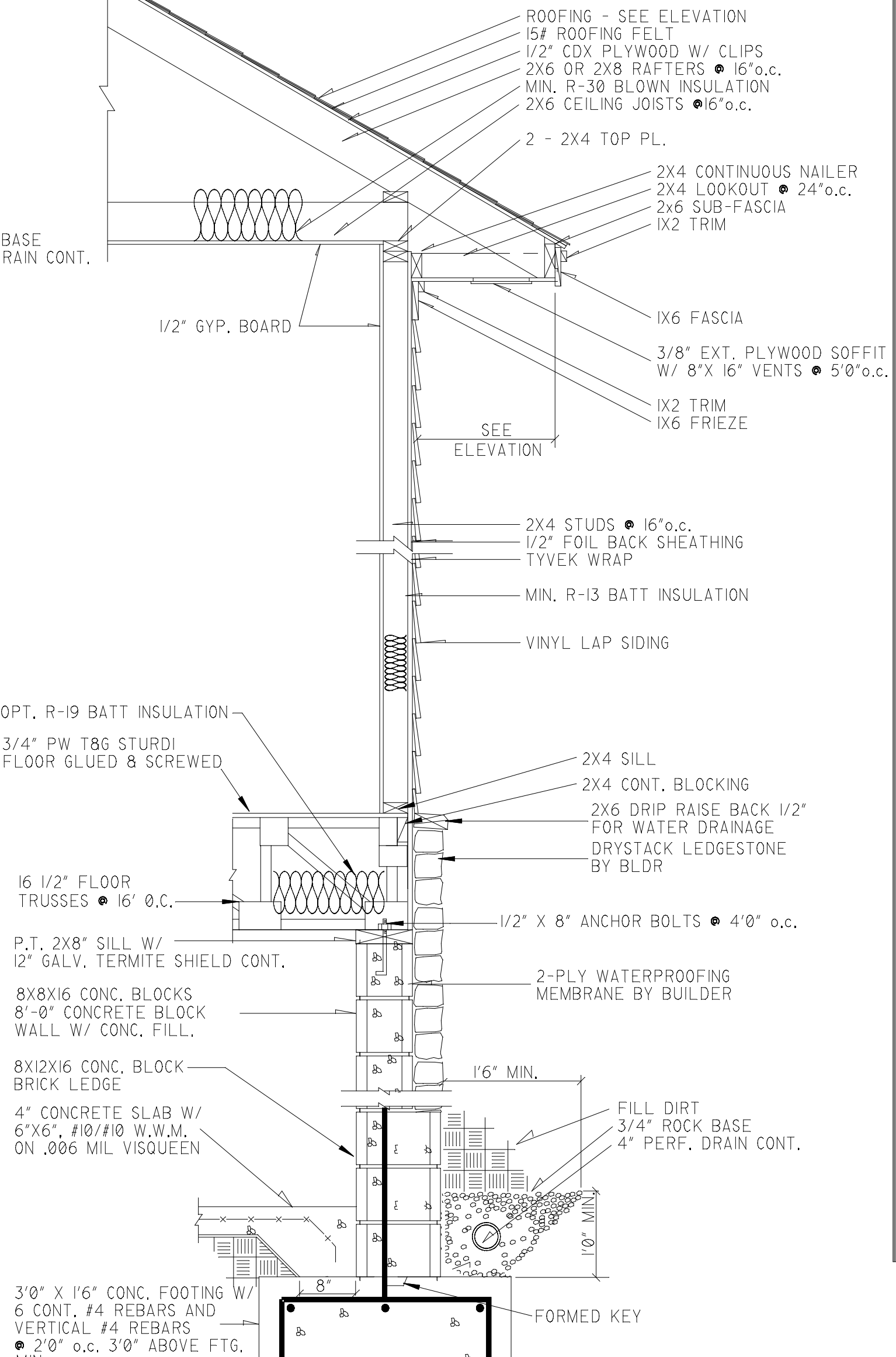
2 GARAGE FOUNDATION DETAIL



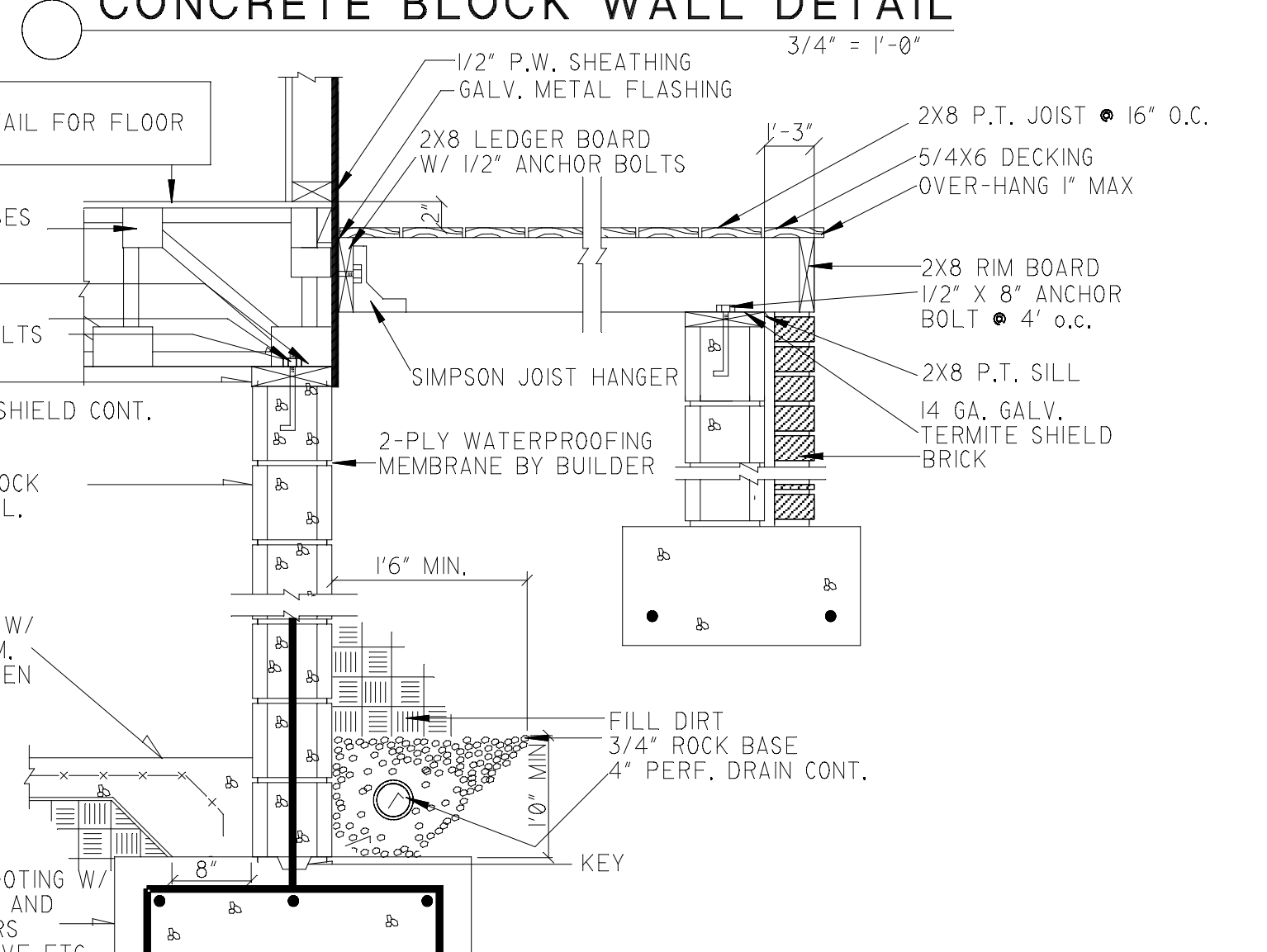
5 BEARING FTG DETAIL



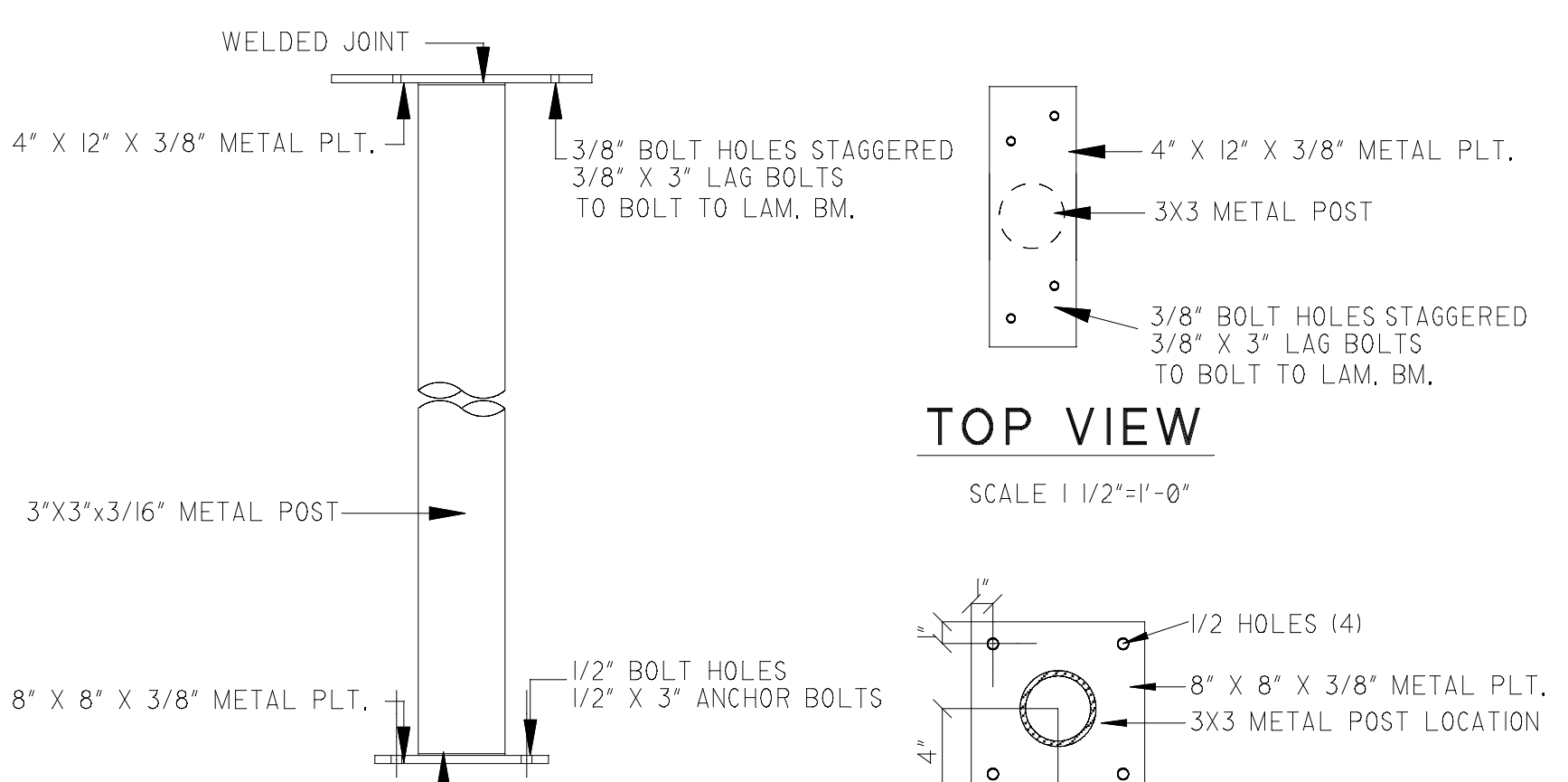
4 STEP DOWN BASEMENT DETAIL



CONCRETE BLOCK WALL DETAIL



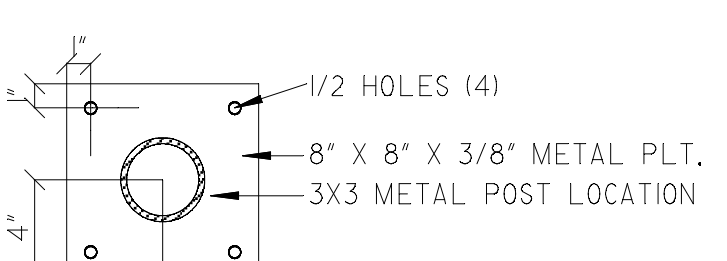
6 STEP DOWN BASEMENT DETAIL



3 3x3 METAL POST DETAIL

TOP VIEW

SCALE 1 1/2\"/>



BASE VIEW

SCALE 1 1/2\"/>

SCALE 1 1/2\"/>

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.



CLUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLAIRY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE THE DOWNSPUTS AT THE NEAREST WALL LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING DRAINAGE AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.

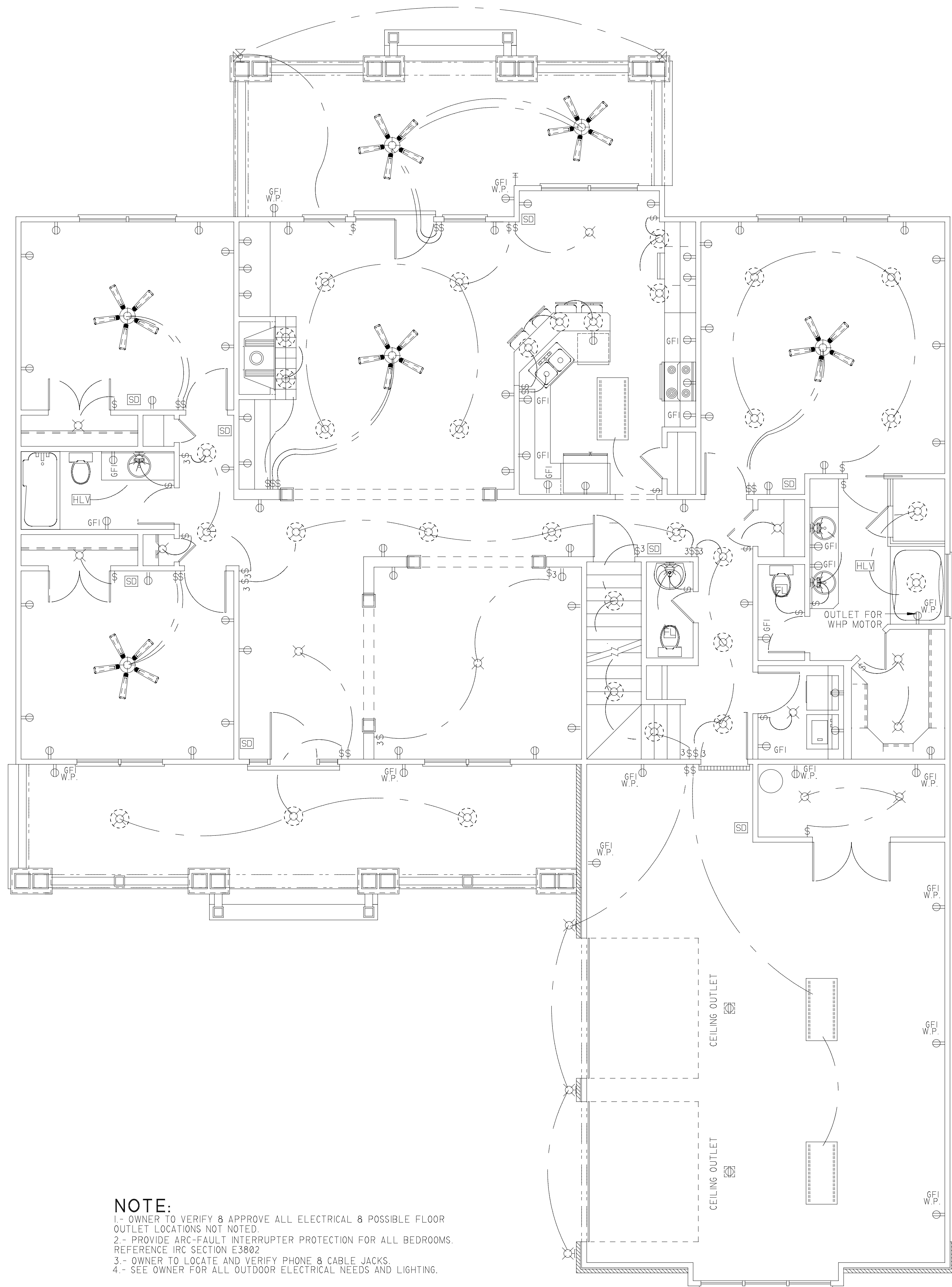
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE. SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.

3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.

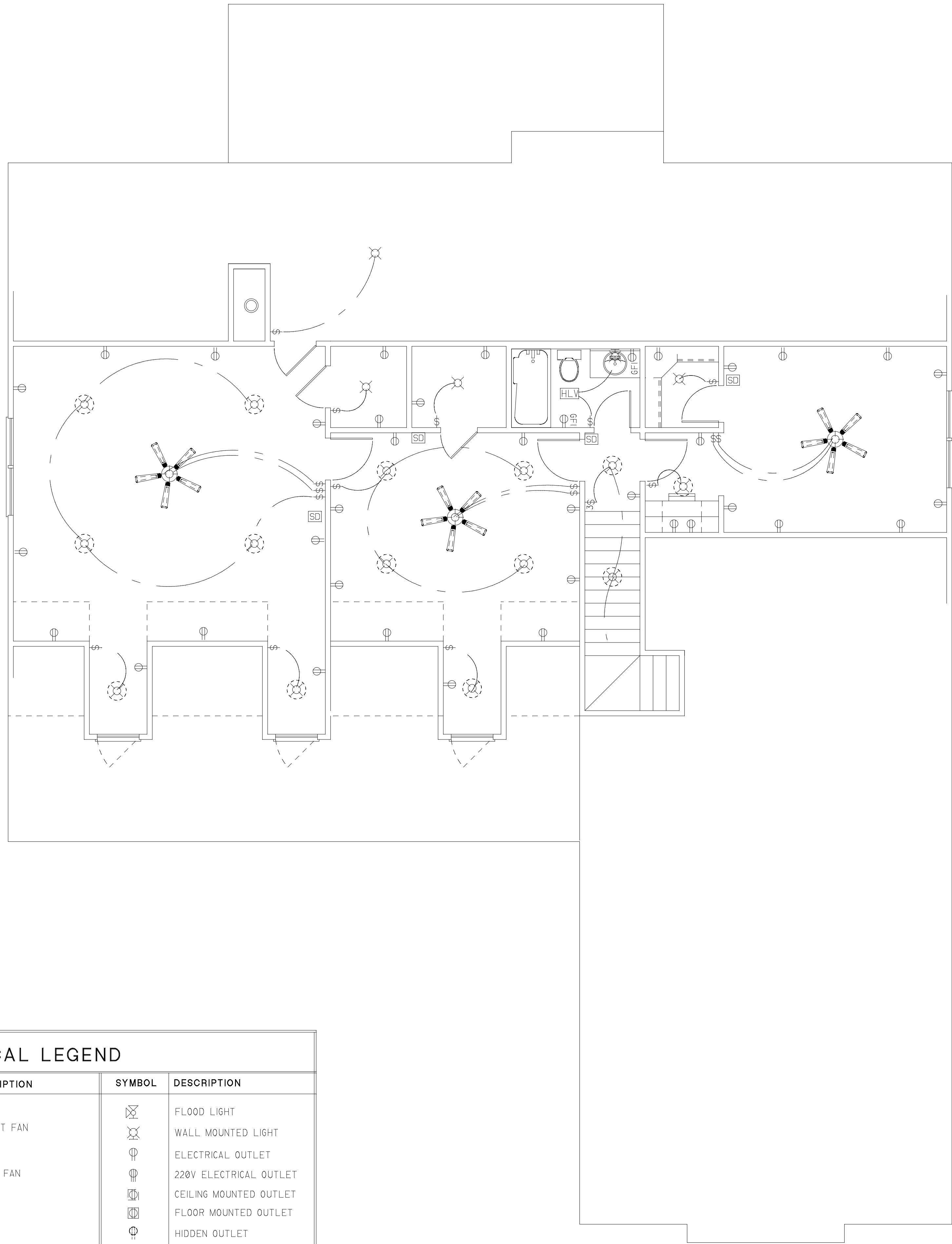
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.

5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PATCH TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

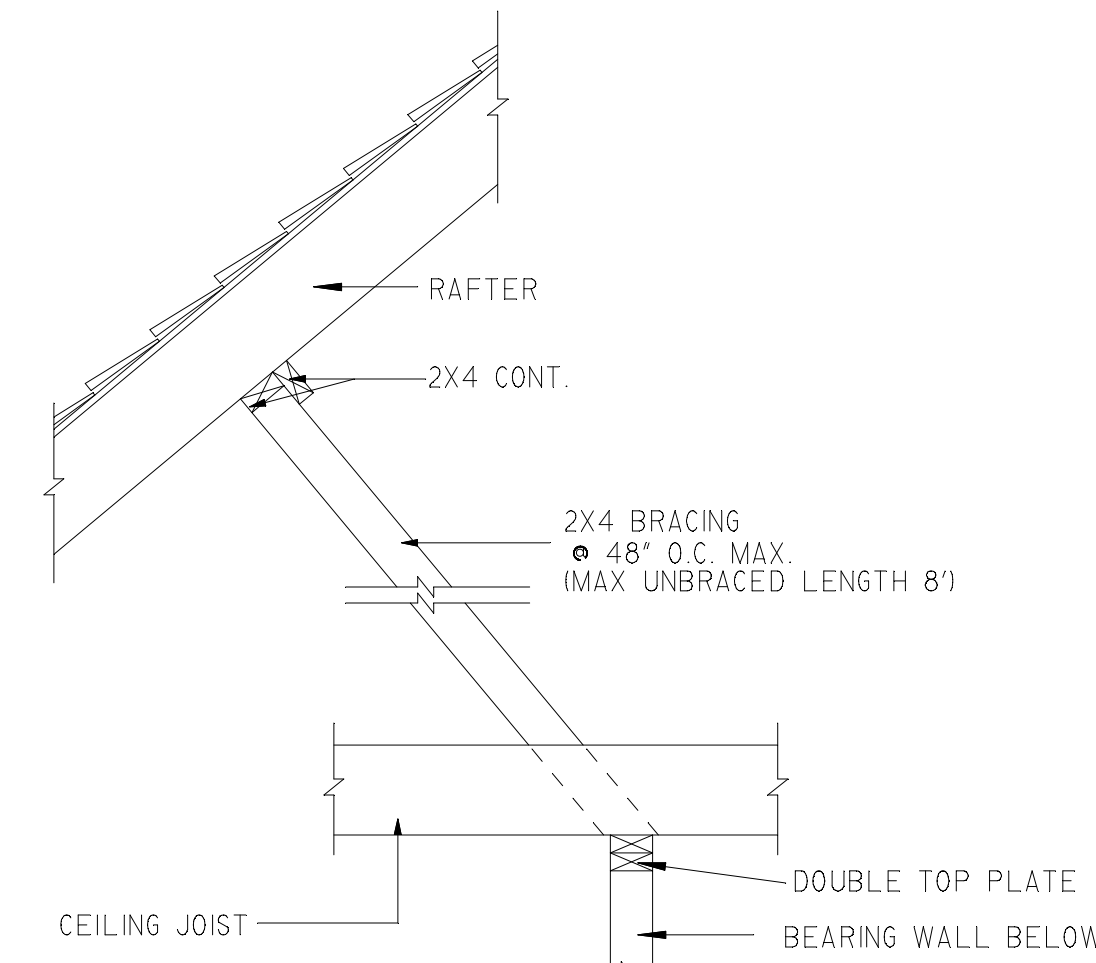
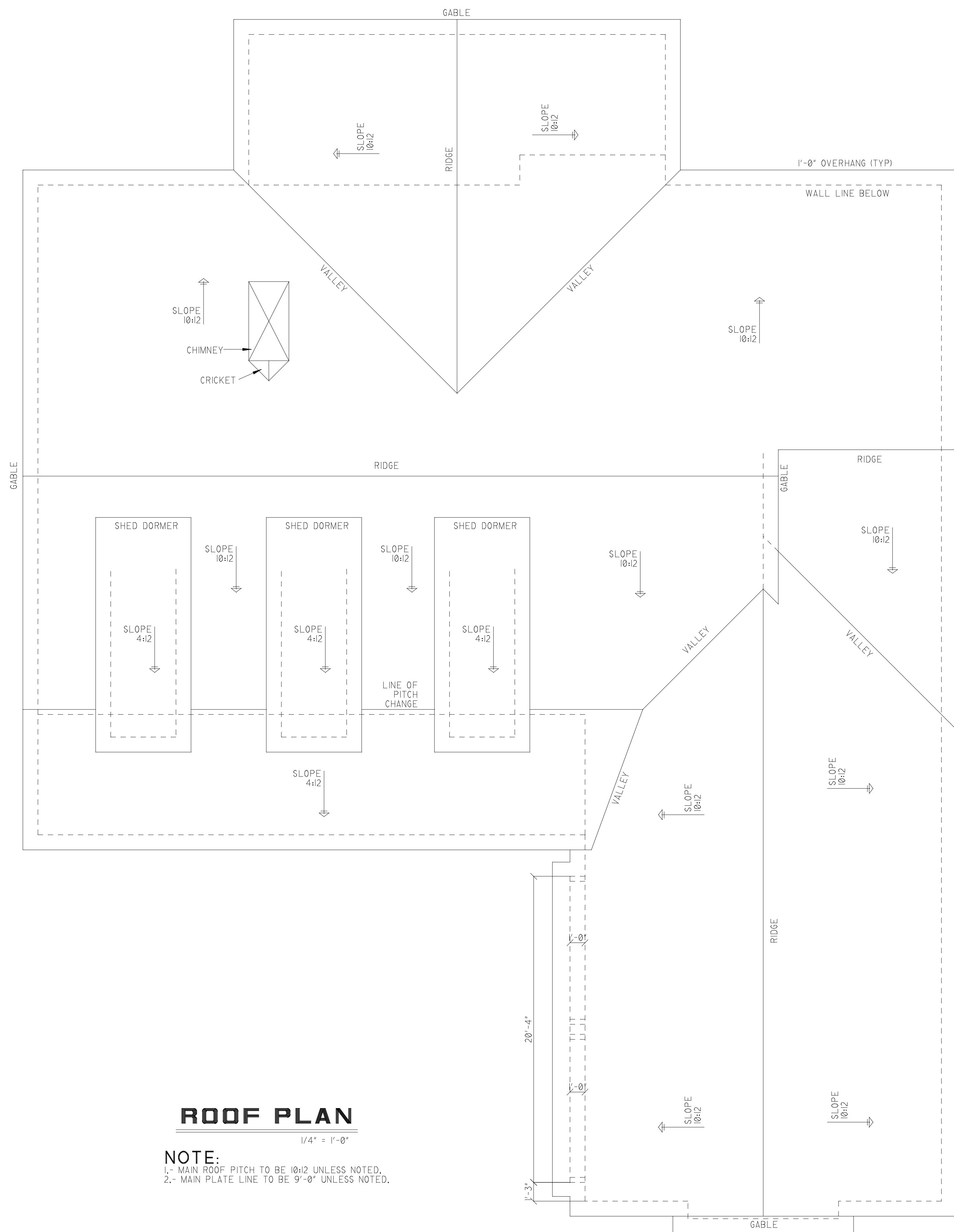




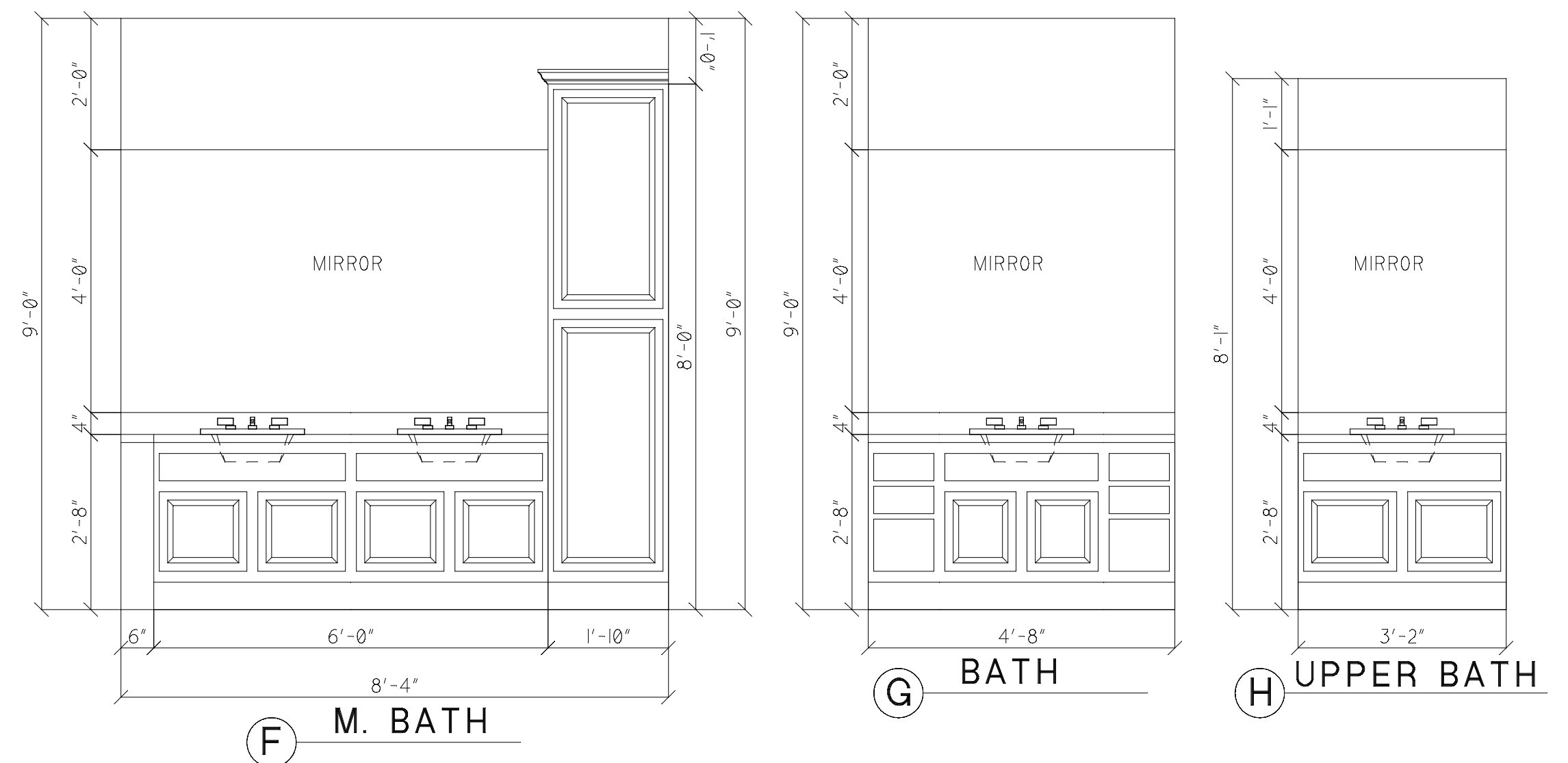
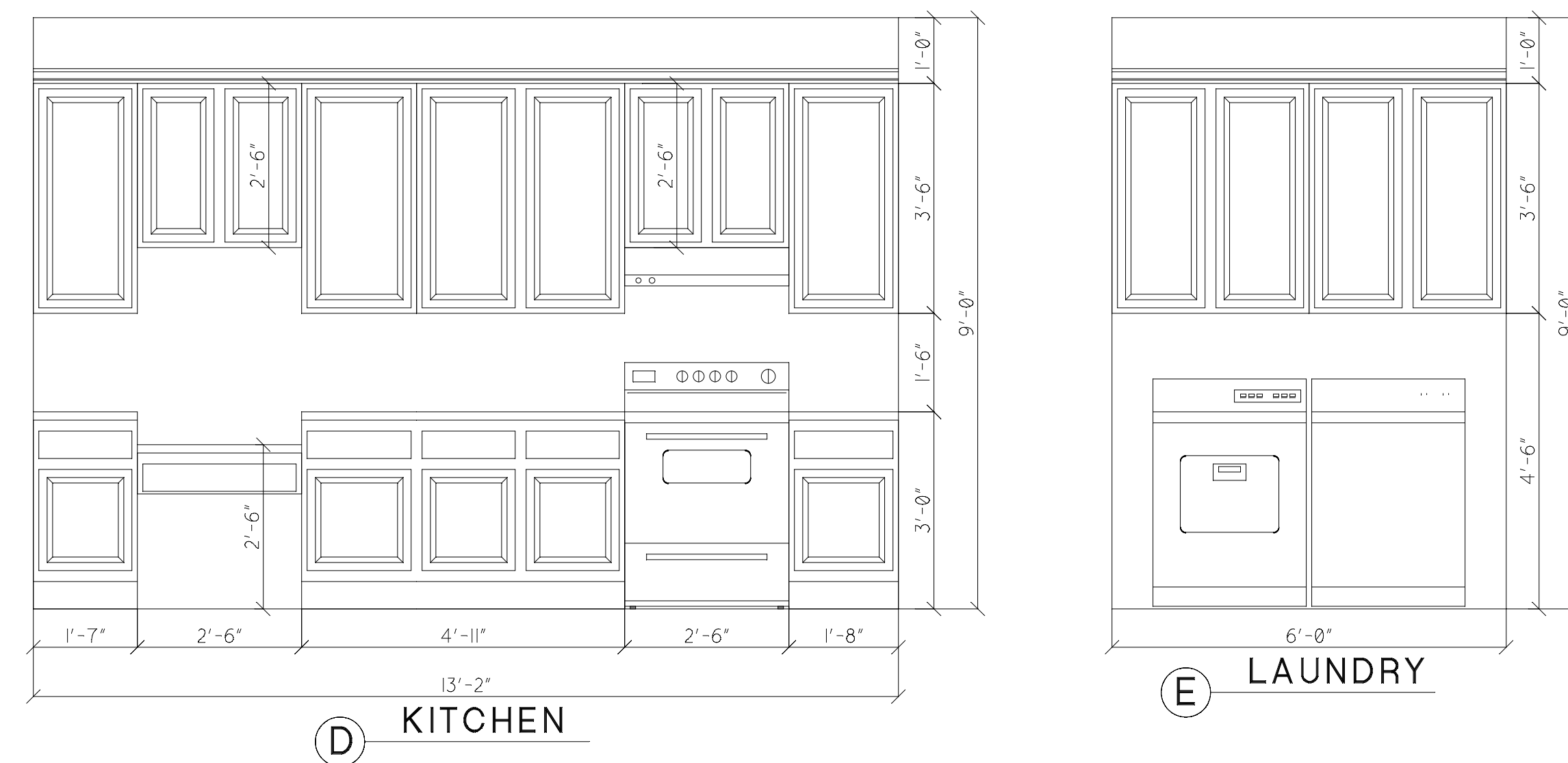
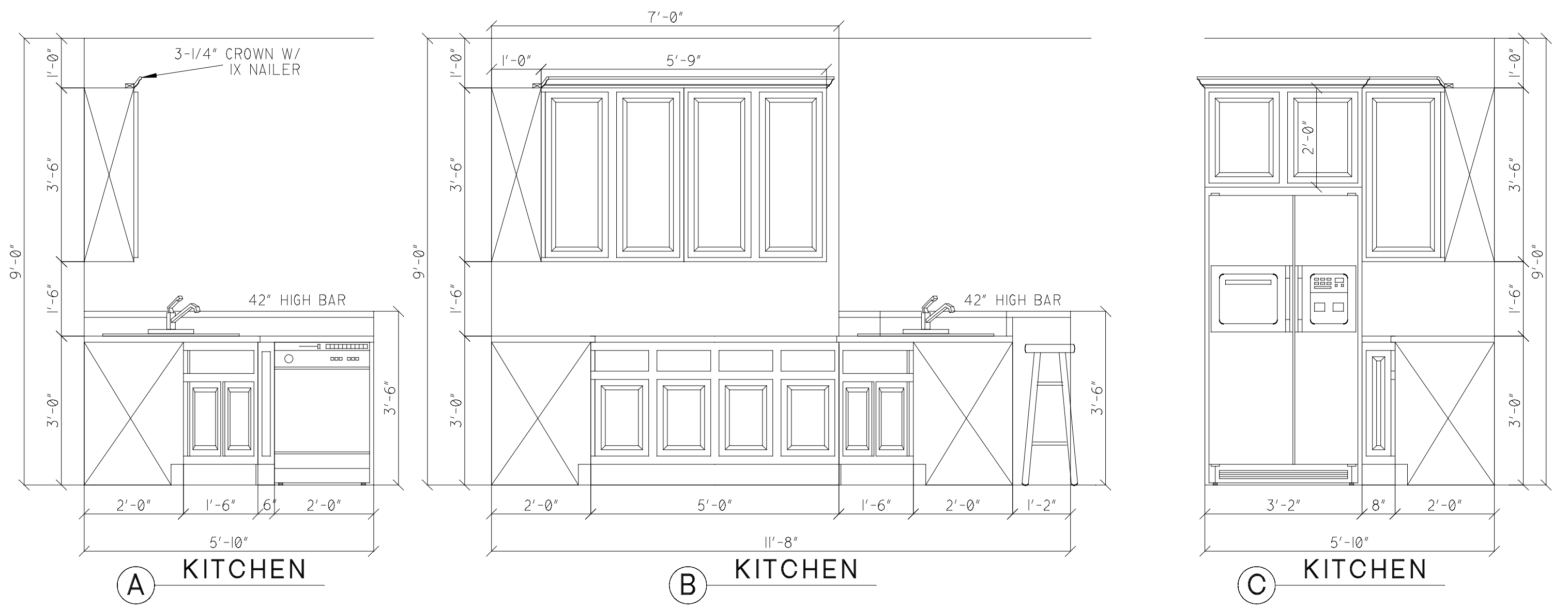
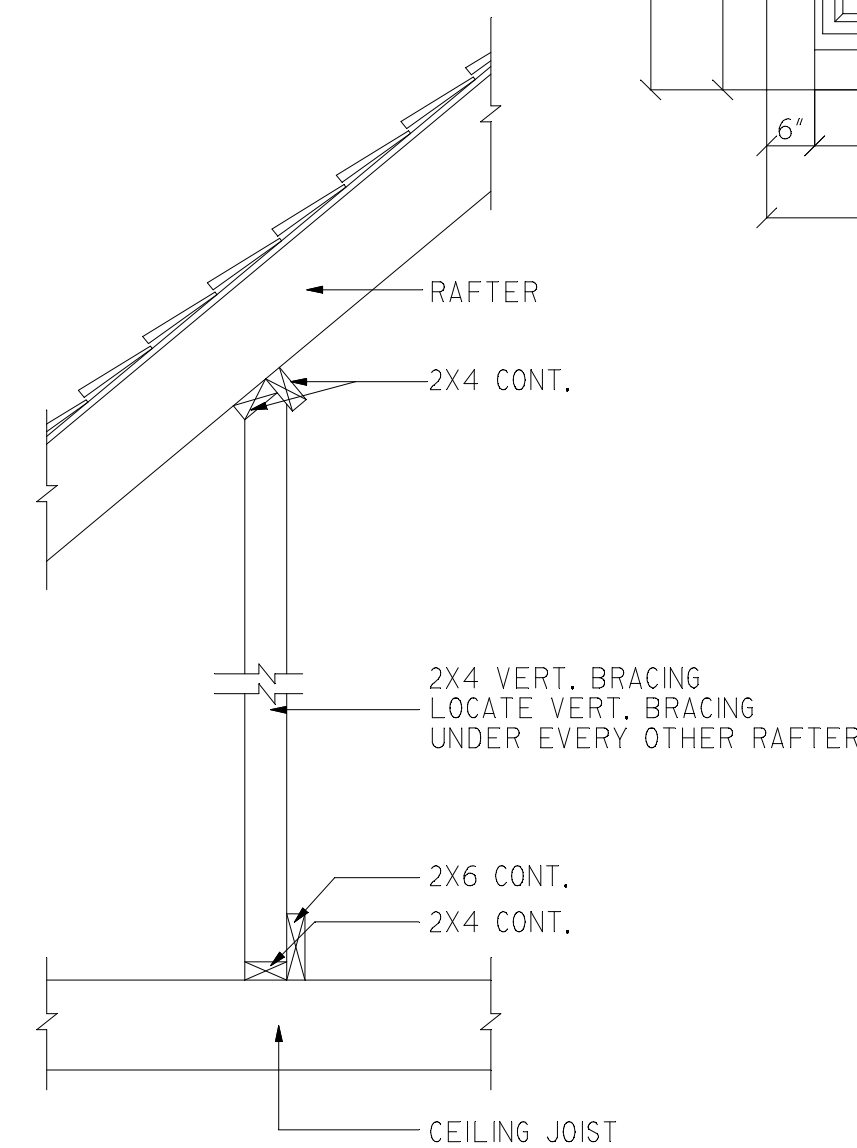
NOTE:
 1- OWNER TO VERIFY & APPROVE ALL ELECTRICAL & POSSIBLE FLOOR
 OUTLET LOCATIONS NOT NOTED
 2- PROVIDE ARC-FAULT INTERRUPTER PROTECTION FOR ALL BEDROOMS.
 REFERENCE IRC SECTION E3802
 3- OWNER TO LOCATE AND VERIFY PHONE & CABLE JACKS
 4- SEE OWNER FOR ALL OUTDOOR ELECTRICAL NEEDS AND LIGHTING.



ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXHAUST FAN		FLOOD LIGHT
	CEILING FAN		WALL MOUNTED LIGHT
	CEILING FAN W/ LIGHT		ELECTRICAL OUTLET
	EXHAUST FAN W/ LIGHT		220V ELECTRICAL OUTLET
	HEAT, LIGHT AND VENT		CEILING MOUNTED OUTLET
	LIGHT		FLOOR MOUNTED OUTLET
	4' FLORESCENT LIGHT		HIDDEN OUTLET
	2' X 4' FLORESCENT LIGHT		SWITCHED OUTLET
	6" RECESSED CAN LIGHT		BREAKER BOX
	3" RECESSED CAN LIGHT		PHONE
			SMOKE DETECTOR
			SWITCH
			STACKED SWITCHES
			THREE WAY
			FOUR WAY
			GROUND FAULT INTERRUPTER
			WATERPROOF
			ELECTRICAL WIRE
			CABLE TV
			TRACK LIGHTING



NOTE:
PURLINS ARE PERMITTED TO BE INSTALLED TO REDUCE THE SPAN OF RAFTERS. PURLINS SHALL BE SUPPORTED BY 2-INCH BY 4-INCH BRACES INSTALLED TO BEARING WALLS AT A SLOPE OF NOT LESS THAN 45 DEGREES. THE BRACES SHALL NOT BE SPACED MORE THAN 48" APART ON CENTER AND THE UNBRACED LENGTH OF BRACES SHALL NOT EXCEED 8 FT. PURLINS SHALL BE CONTINUOUS. (REFER IRC R802.5.1)



KITCHEN AND BATH DETAILS

1/2" = 1'-0"

FRAMING NOTES:

- 1.- RAFTERS TO BE SUPPORTED BY CONT. BRACING FOR HORIZONTAL SPANS OF 15'-0" OR GREATER.
 - 2.- SUPPORT ALL HIP, VALLEY, AND RIDGES ● 8'-0" O.C. MAX.
 - 3.- ALL RAFTERS TO BEAR ON SECOND FLOOR WALLS WHERE APPLICABLE.
 - 4.- RAFTERS MAY BE SPLICED ONLY ● CONT. BRACING OR SECOND FLOOR WALLS.
 - 5.- RAFTERS TO BE PLACED IN COMPLIANCE WITH ALL LOCAL CODES.
- EXAMPLES:**
- A.- 2X6 RAFTERS ● 16" O.C. MAX. WITH 1/2" P.W. DECKING.
 - B.- 2X6 RAFTERS ● 24" O.C. MAX. WITH 5/8" P.W. DECKING.
 - C.- 2X8 RAFTERS ● 24" O.C. MAX. WITH 5/8" P.W. DECKING.
 - D.- 2X8 RAFTERS ● 16" O.C. MAX. WITH 1/2" P.W. DECKING.
 - 6.- FASCIA OVERHANG TO BE 12" (TYP.) UNLESS NOTED ON ELEVATIONS.
 - 7.- ALL HIP / VALLEY RAFTERS TO BE 2X10 UNLESS NOTED.